

CONSTRUCTION OF A TRIPLEX

Listuguj Mi'gmaq Government



Request for Proposal

Date	April 30, 2026	
Closing Date	May 20, 2026	
Approved by	Bassem Abdrabou	
Prepared by	Jessica Hottot	

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11. Proposal Submission Date & Time
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13. Bid Validity Period
14. Time and Place of Submission

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Part 1: INFORMATION AND INSTRUCTIONS TO BIDDERS

Objectives

Capital and Infrastructure is seeking proposals from qualified Listuguj, experienced contractors to deliver a “Turnkey” residential home for our community members. Under this delivery model, the successful proponent will assume full responsibility for the project from construction including any necessary design through to final occupancy and handover of a fully completed, code compliant and habitable dwelling.

The intent of this RFP is to identify a contractor with technical expertise, capacity, and local knowledge to deliver a high-quality home that meets all applicable standards, schedules and budget requirements.

Brief Project Overview

The project consists of a full construction of a residential dwelling as per the attached plans and specifications in “Appendix A & B” on a prepared site. The contractor will act as a single point of responsibility for all activities required to achieve substantial completion and occupancy approval. The scope of work includes, but is not limited to:

- Site preparation and civil work
- Complete building construction
- Mechanical, electrical, and plumbing systems to be done by Certified Subcontractor
- Interior finishes and fixtures
- Quality control, inspections, and project management
- Final handover and warranty

Scope of Work

The scope of work will include:

3.1 Site Preparation and Civil Works

- Site clearing, grading and excavation
- Foundation preparation and installation
- Coordinate with the Capital and Infrastructure for connections to the utilities (water, sewer etc.)
- Temporary site services, safety fencing and site safety measures

3.2 Building Construction

The Contractor shall construct the complete residential structure, including:

- Supply of all labor, materials and equipment
- Structural framing, roofing and exterior envelope
- Installation of windows, doors, insulation, siding and roofing systems
- Interior construction, including walls ceilings, and flooring systems

All Construction shall comply with applicable building codes, standards and local regulations.

3.3 Mechanical, Electrical and Plumbing

The Contractor shall provide fully functional and code-compliant systems, including:

- Complete plumbing systems, including fixtures, installed by a certified plumber
- Electrical systems, including panels, wiring, lighting and outlets, installed by a certified electrician
- Heating, ventilation and air conditioning systems
- Testing, balancing and commissioning of all mechanical, electrical and plumbing systems.

3.4 Interior Finishes and Fixtures

Interior Finishes shall be complete and ready for occupancy (colors to be chosen by client), including:

- Kitchen cabinets and countertops
- Bathroom fixtures and finishes
- Interior painting and trim
- Flooring installation throughout the home

3.5 Quality Control and Inspections

The contractor shall be responsible for quality assurance throughout the project including:

- Ongoing quality control during all phases of construction
- Coordination with the Capital and Infrastructure team for all required inspections
- Correction of deficiencies prior to completion

3.6 Project Management and Coordination

The contractor shall provide full project management services, including:

- Overall project scheduling and coordination
- Regular progress reporting to the Capital and Infrastructure team
- Cost control and schedule management
- Coordination of subcontractors and suppliers

It is possible that some items on the bidding slip may be partially or completely removed from the tender following the opening of the proposal. The Bidder must take this into account in preparing its proposal. This modification shall not give rise to any claim on the part of the Bidder.

Final Delivery

Final delivery will be considered complete when:

- All construction work is finished
- All inspections are passed
- Deficiencies are corrected
- Client approval is received
- Keys and documentation are formally handed over

Standards and Compliance

- All work must be completed by licensed and certified professionals.
- Construction must comply with the 2015 National Building Code of Canada and all applicable local and provincial or territorial laws.
- The contractor is responsible for coordinating with the client for all inspections.
- The contractor is fully responsible for site safety and follow local and provincial regulations.

Insurance Requirements

The contractor must provide proof of liability insurance for a minimum coverage of two million dollars (\$2,000,000) per event.

Terms of Payments

The Owner shall make progress payments upon submission of invoices supported by appropriate documentation and following approval by the Owner's Project Manager. Approved invoices will be paid within forty-five (45) days of invoice approval.

All deliverables submitted to the Owner must be accepted in writing by the Owner's authorized representative and must meet the Owner's complete satisfaction. In the event that any deliverable is deemed unsatisfactory, payment may be withheld until the deliverable is corrected and fulfills the Owner's expectations.

In accordance with the Listuguj Mi'gmaq Government Tender Policy, a five percent (5%) holdback shall apply to all construction-related payments. The holdback will be released upon completion of all deficiencies, formal handover of the project to the Owner, and a one (1) year warranty provided.

Payments should be made according to the "Bill of Quantity: form" in Appendix C and should be made as follows:

Section A

A.1 Ground Preparation

A.2 Footing & Foundation

Section B

B.1 Framing

B.2 Exterior Enclosure

B.3 Interior Partitions

B.4 Drywall – Paint and Plaster/Finishing Electrical and Mechanical

Section C

C.1 Final Completion

Please note that based on Listuguj Mi'gmaq Tendering Policy, there will be 5% holdback on each invoice. 5% will be released upon final completion and the remaining 5% will be retained for a period of 1 year as a warranty bond in the event of defects, deficiencies, or required repairs arise during that time.

Meeting Schedule

The contractor will be required to participate in the following meetings:

- Project Kick-off Meeting
- Bi-Weekly Progress Meetings
- Shop Drawings and Material Sample for approval
- Pre-Completion Walkthrough
- Final Inspection & Handover Meeting

Communications

All correspondences and inquiries to be sent to:

General Manager, Jessica Hottot
Email: Jessica.hottot@listuguj.ca

Project Coordinator, Melissa Geraghty
Email: Melissa.geraghty@listuguj.ca

Copied to the Director of Capital and Infrastructure, Bassem Abdrabou, P.Eng, M.A.Sc
Email: bassem.abdrabou@listuguj.ca

Proposal Requirements

Submissions must include:

- Proof of certification for professional services (Electrical, plumbing etc.)
- Detailed cost breakdown (including hourly rates)
- Project Schedule
- Proof of liability insurance
- Health and Safety plan

Changes

- Any changes throughout the project will need to be approved in writing by the owner.

Proposal Submission Date and Time

All Submissions should be received before 10:00AM Atlantic time/9:00AM Eastern time on May 20th, 2026

No Questions or request for information should be submitted 2 business days before the closing date.

No Submissions will be received after this time.

Contract Termination

The Owner has the right at any time to terminate the contract, in whole or in part, before or after the commencement of its performance.

When the Owner decides to terminate the contract, it must notify the Consultant in writing and indicate the effective date.

Upon receipt of such notice, the Contractor shall:

1. Submit all the work done, reports.
2. Cancel all contracts with subconsultants.
3. Continue, complete, and submit the parts of described work that have not been terminated, if any.

On the date specified in the notice of termination, the Owner, with the assistance of the Consultant, shall make an inventory of all the work performed, those terminated and those to be continued, if any.

Following this inventory, the Owner takes possession of all the works as they were then completed. The Contractor shall be entitled to all fees, disbursements and sums representing the actual value of the services rendered up to the date of termination of the contract.

The Consultant is not entitled to any compensation for loss of earnings and anticipated profit, in all cases of termination of the contract by the Owner.

Bid Validity Period

The proposal validity period is fifty (50) calendar days from the proposal opening date indicated in this document. Any Bidder who, at the end of the proposal validity period, has not been notified in writing by the Owner that its proposal has been accepted may withdraw it at the end of that period.

The Owner reserves the right to use the entire validity period of the proposals to analyze the proposals and to award or not to award the contract.

Any changes will need to be approved in writing by owner.

Time and Place of Submission

All price forms should be submitted to the civic address or email addresses listed below before May 4, 2026 @ 12:00 PM (AST).

Civic Address:

Capital & Infrastructure
44 Dundee Road,
Listuguj, QC G0C 2R0

Email Addresses:

Jessica.hottot@listuguj.ca
Melissa.geraghty@listugui.ca

Part 2 – Bid Forms

❖ **BILL OF QUANTITY**

SN.	Description	Quantity	Unit	Prices
Section A - Substructure				
A.1	- Excavation and Ground preparation to construction level (Including Aggregates placement and Compaction)	1	Fixed Price	
A.2	Footing and Foundation including Isolation/insulation, Drain Tile, Radon preparation and Slab	1	Fixed Price	
	Subtotal 1			
Section B - Structure				
B.1	Floor Joists, Wall Framing, Trusses and sheeting	1	Fixed Price	
B.2	Exterior Enclosure, Windows, Exterior Doors, outside insulation and can excel siding	1	Fixed Price	
B.3	Interior Partition and interiors doors Include Rough in Mechanical and Electrical	1	Fixed Price	
B.4	Drywall, Plaster, Paint and Floor Include Pre Finish Mechanical and Electrical	1	Fixed Price	
	Subtotal 2			
Section C – Final Completion & Deficiencies				
C.1	Final Completion including trim work, Cabinet, deficiencies and final Cleanup	1	Fixed Price	
	Subtotal 3			
	Grand Total			

BID FORM

TO BE FILLED BY THE CONTRACTOR

The Contractor, after having visited the sites and ascertain the nature of the mandate, as well as after carefully reading the tender documents and appendices, hereby, to execute and complete the mandate in accordance with the tender documents and to the full satisfaction of the Owner within the applicable contractual deadlines, for a total price for the proper execution of:

_____ Dollars (\$)

Excluding applicable taxes.

The price submitted is in lawful money of Canada, the value of which is firm for the bid validity period described in this call for proposal/tenders and for the entire duration of the contract.

SIGNED AT (PLACE)	
DATE	
COMPANY NAME	
ADDRESS	
TELEPHONE	
FAX	
NAME OF THE REPRESENTATIVE	
FUNCTION	
SIGNATURE:	

PART 3: APPENDIX

APPENDIX A: PROJECT SPECIFICATIONS

Appendix A – Project Specifications

A.1 Roofing

Material - Type Asphalt shingles

Installation – by a qualified roofing professional following manufacturer’s specification

Underlayment – Ice and water shield in required areas, synthetic underlayment elsewhere

Ventilation – ridge vent and soffit ventilation system or equivalent to ensure proper airflow.

Color – to be specified by owner

A.2. Exterior Siding

Material – CanExel siding and brick veneer siding 3ft around the front of the facade

Color – to be specified by owner

A.3. Flooring

General Areas (Living Rooms, bedrooms, Hallways)

Material: High-quality 10mm Laminate Flooring

Wet Areas (Kitchen and Bathroom areas)

Waterproof flooring (Vinyl or equivalent)

Color – to be specified by owner

A.4. Interior Paint

Color – to be specified by owner

A.5. Windows

Type – Energy-efficient, double pane windows.

Frame Material

A.6 Heat Pump

Material: 12,000 BTU Kerr Central Heat Pump, Hyper heat performance down to -30 degrees Celsius.

Appendix B: Architectural

SOCIAL HOUSING DEVELOPMENT - TRIPLEX C,

LISTUGUJ, QC

PROJECT NO: 22-17

TITLE PAGE

A0 - DRAINING LIST

ARCHITECTURAL

- A1 - GROUND FLOOR & REFLECTED CEILING PLANS
- A2 - ELEVATIONS
- A3 - SECTIONS, WALL TYPES & SCHEDULES
- A4 - DETAILS - ELEVATIONS, CASBORK SECTIONS
- F1 - FOUNDATION PLAN DETAILS

MECHANICAL

- M001 - MECHANICAL PLUMBING PLAN VIEWS, SCHEDULES AND SPECIFICATIONS
- M002 - MECHANICAL - VENTILATION - PLAN VIEWS, SCHEDULES AND MECHANICAL SPECIFICATION

ELECTRICAL

- E101 - LEGEND & SPECIFICATIONS
- E102 - FLOOR PLANS & DETAILS

CONSULTANTS / EXPERTS-CONSULTANTS:

ARCHITECTURAL:

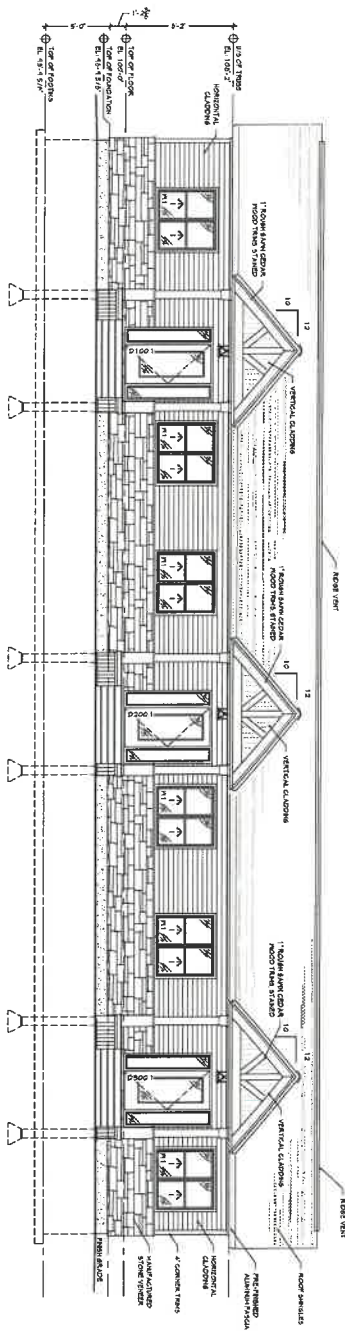
CLAND Inc.
canon logic architecture + design

MECHANICAL:

FWD Consultants
7170N LEXBURY
MECHANICAL CONSULTANTS INC.

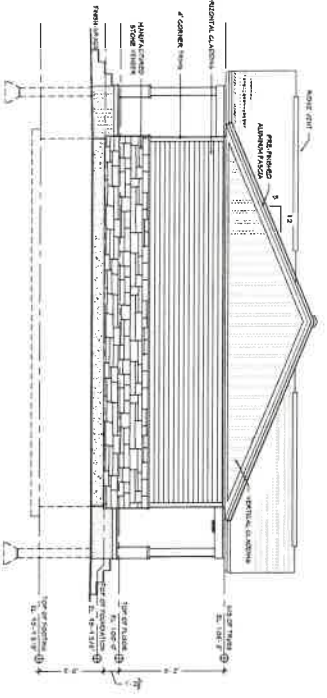
ELECTRICAL:

VALANDORP



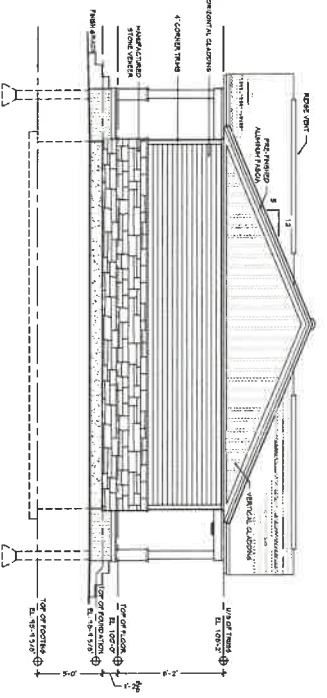
1 FRONT ELEVATION

SCALE 1/4" = 1'-0"



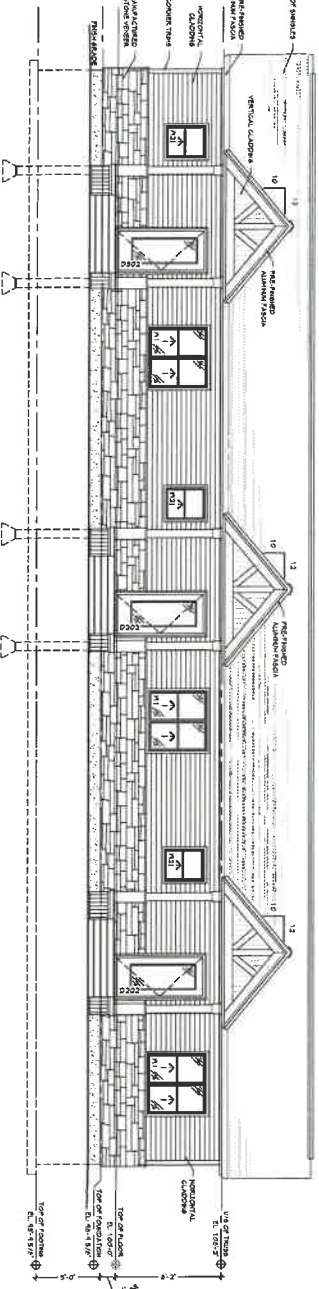
2 LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"



4 BACK ELEVATION

SCALE 1/4" = 1'-0"

- ELEVATION FINISHES**
- HORIZONTAL CLADDING
 - VERTICAL CLADDING
 - ALUMINUM FINISH
 - ROOF FINISH
 - STONE VENEER
 - HORIZONTAL CLADDING
 - VERTICAL CLADDING
 - ALUMINUM FINISH
 - ROOF FINISH
 - STONE VENEER

A	WALL FINISH
B	ROOF FINISH
C	STONE VENEER

General notes Notes générales

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN BUILDCODES AND ALL APPLICABLE REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES CONNECTIONS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.

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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.

CLAD Inc.
 Conceptual architecture + design

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 www.cladinc.ca
 467 Main, Suite 2
 Bathurst, NB
 E2A 1B1

CONSULTANT
 EXPERT CONSULT

FMPD
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 TEL: (416) 291-1111
 WWW.VALANORP.COM

CLIENT CLIENT

PROJECT PROJECT

SOCIAL HOUSING DEVELOPMENT

LOCATION LOCATION

LESTER, QC

DATE DATE

2023/09/12

REVISIONS / REMARKS

0

SHEET NUMBER SHEET NUMBER

A2

NUMERO DE LA FEUILLE

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SHEET TITLE SHEET TITLE

ELEVATIONS

PROJEC T PROJEC T

LESTER, QC

DATE DATE

2023/09/12

REVISIONS / REMARKS

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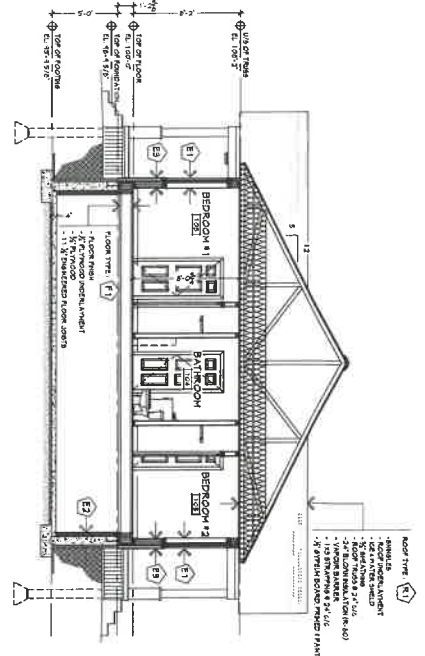
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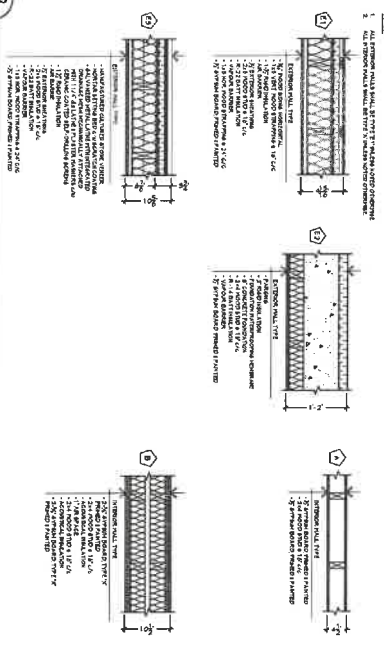
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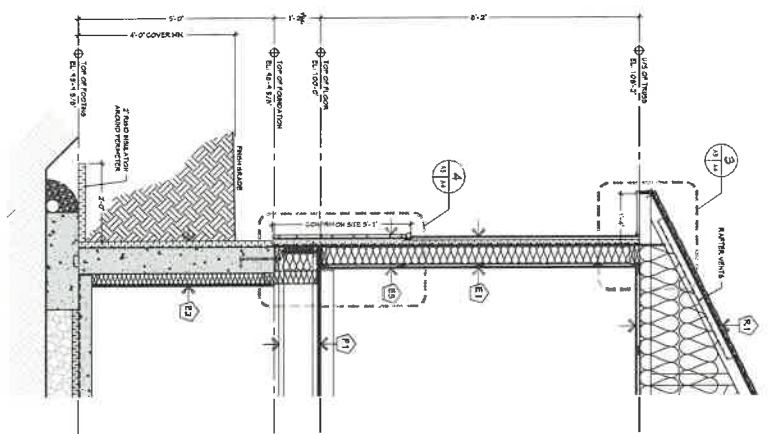
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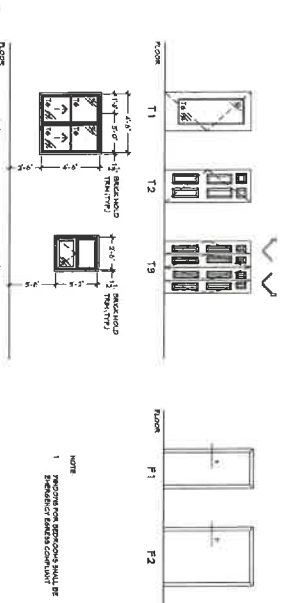
A SECTION
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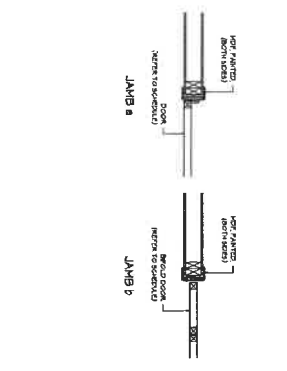
2 WALL TYPES
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1 WALL SECTION
SCALE: 3/4" = 1'-0"



3 WINDOWS, DOOR & FRAME SCHEDULES
SCALE: 1/4" = 1'-0"



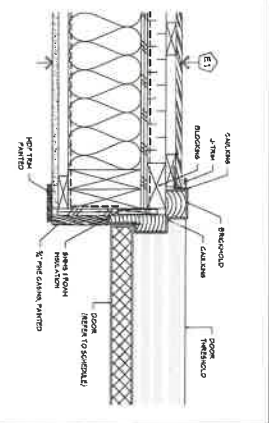
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INTERIOR FINISH SCHEDULE

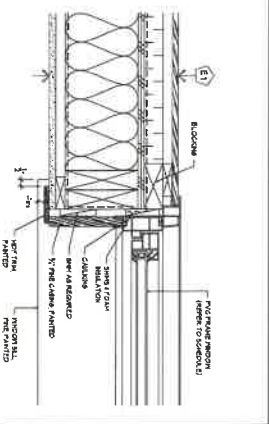
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DOOR & FRAME SCHEDULE

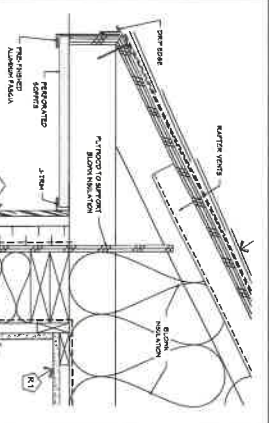
NO.	DESCRIPTION	TYPE	DOOR		FRAME		NOTES
			WIND.	WALL	WIND.	WALL	
101	DOOR	INSULATED METAL					
102	DOOR	PVC					
103	DOOR	HOLLOW CORE ACID ANODIZED					
104	DOOR	SLIP RESISTANT					
105	DOOR	PAINTED					
106	DOOR	ANODIZED					
107	DOOR	PALE FINISHED					
108	DOOR	PALE / SAFETY GLAZED					
109	DOOR	PALE / SAFETY GLAZED					
110	DOOR	PALE / SAFETY GLAZED					
111	DOOR	PALE / SAFETY GLAZED					
112	DOOR	PALE / SAFETY GLAZED					
113	DOOR	PALE / SAFETY GLAZED					
114	DOOR	PALE / SAFETY GLAZED					
115	DOOR	PALE / SAFETY GLAZED					
116	DOOR	PALE / SAFETY GLAZED					
117	DOOR	PALE / SAFETY GLAZED					
118	DOOR	PALE / SAFETY GLAZED					
119	DOOR	PALE / SAFETY GLAZED					
120	DOOR	PALE / SAFETY GLAZED					
121	DOOR	PALE / SAFETY GLAZED					
122	DOOR	PALE / SAFETY GLAZED					
123	DOOR	PALE / SAFETY GLAZED					
124	DOOR	PALE / SAFETY GLAZED					
125	DOOR	PALE / SAFETY GLAZED					
126	DOOR	PALE / SAFETY GLAZED					
127	DOOR	PALE / SAFETY GLAZED					
128	DOOR	PALE / SAFETY GLAZED					
129	DOOR	PALE / SAFETY GLAZED					
130	DOOR	PALE / SAFETY GLAZED					
131	DOOR	PALE / SAFETY GLAZED					
132	DOOR	PALE / SAFETY GLAZED					
133	DOOR	PALE / SAFETY GLAZED					
134	DOOR	PALE / SAFETY GLAZED					
135	DOOR	PALE / SAFETY GLAZED					
136	DOOR	PALE / SAFETY GLAZED					
137	DOOR	PALE / SAFETY GLAZED					
138	DOOR	PALE / SAFETY GLAZED					
139	DOOR	PALE / SAFETY GLAZED					
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141	DOOR	PALE / SAFETY GLAZED					
142	DOOR	PALE					



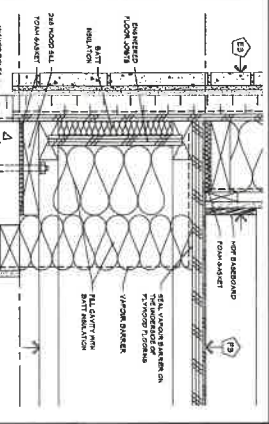
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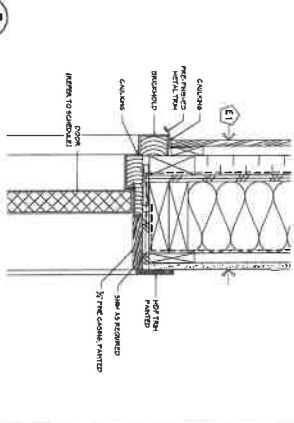
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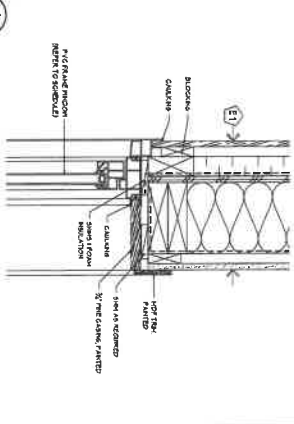
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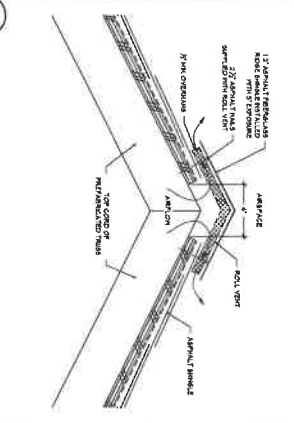
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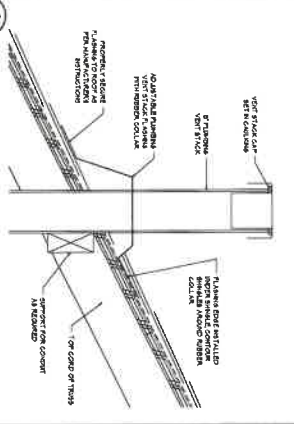
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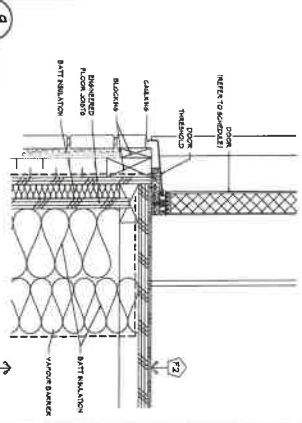
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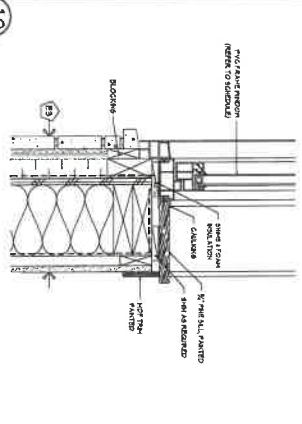
7 DETAIL
SCALE: 3/4" = 1'-0"



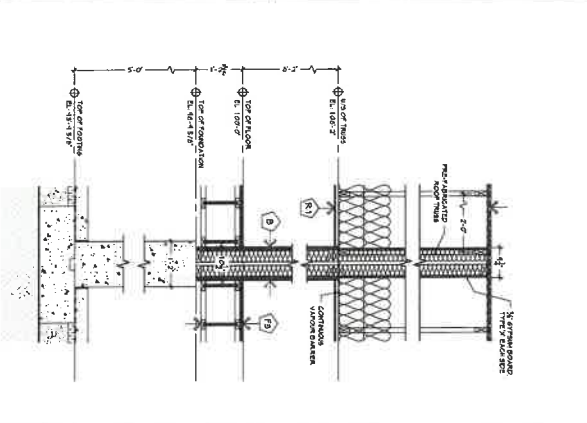
8 DETAIL
SCALE: 3/4" = 1'-0"



9 DETAIL
SCALE: 3/4" = 1'-0"



10 DETAIL
SCALE: 3/4" = 1'-0"



11 THE FIRE SEPARATION DETAIL
SCALE: 3/4" = 1'-0"

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caron loggia architecture + design

504-545-4334
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467 Main, Suite 2
Burlington, ON
L7R 1B1

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TEL: 416-291-1111
WWW.FWDCONSULTING.COM

VALANDORP
1000 SHEPPARD AVENUE EAST
SUITE 1000
SCARBOROUGH, ONTARIO M1S 1T6
TEL: 416-291-1111
WWW.VALANDORP.COM

CONSULTANT
EXPERIENCED CONSULTANT

General notes Notes specific to this project

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF WORK BEFORE BEGINNING WORK. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

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18. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

19. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

20. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

CLIENT LIVINGSTON
1000 SHEPPARD AVENUE EAST
SUITE 1000
SCARBOROUGH, ONTARIO M1S 1T6
TEL: 416-291-1111
WWW.LIVINGSTON.COM

PROJECT TITLE TRIPLEX PROJECT

SOCIAL HOUSING DEVELOPMENT
- TRIPLEX -

PROJECT LOCATION LIVINGSTON, ONT.

SHEET TITLE TRIPLEX DETAIL

SHEET NUMBER A4

DATE 2023.09.12

SCALE AS SHOWN

DESIGNED BY A.S./M.R.

CHECKED BY A.S./M.R.

DATE 2023.09.12

SCALE AS SHOWN

DATE 2023.09.12

STAMP SCALE

DATE 2023.09.12

SCALE AS SHOWN

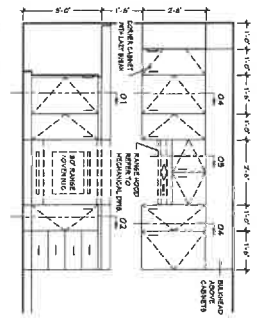
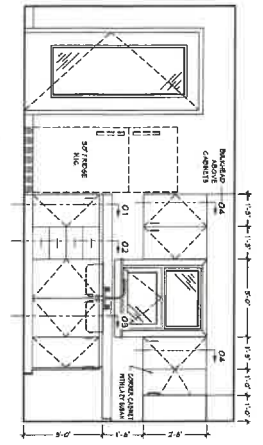
DESIGNED BY A.S./M.R.

CHECKED BY A.S./M.R.

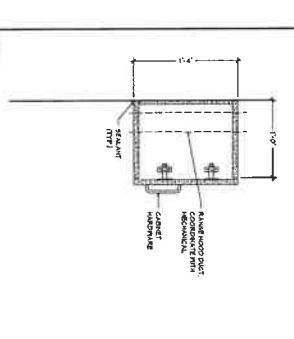
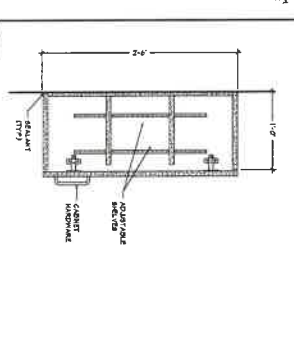
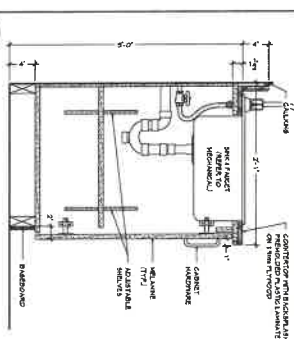
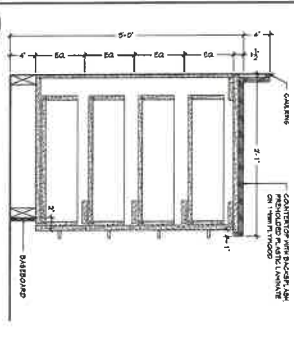
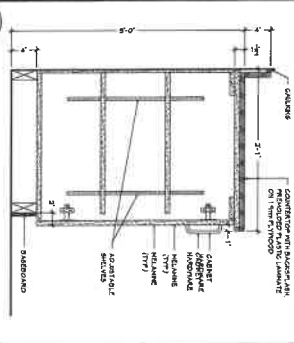
DATE 2023.09.12

SCALE AS SHOWN

DATE 2023.09.12



KITCHEN ELEVATIONS



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 www.CLADinc.ca
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 Bolinas, NB,
 E2A 1B1

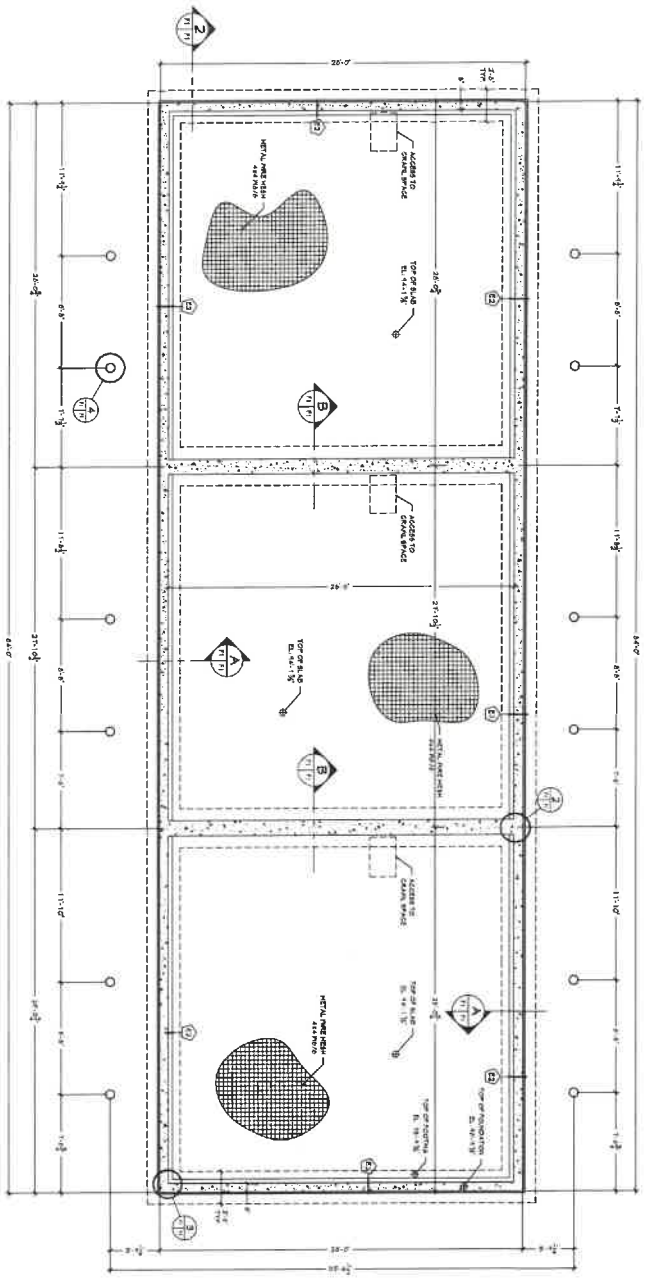
FMPD
 FMPD
 1-800-231-2311
 www.fmpd.com

General notes Notes générales
 general notes shall detail all conditions of construction and shall be read in conjunction with the contract documents. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the coordination of all trades and the sequencing of the work. The contractor shall be responsible for the protection of all existing conditions and the preservation of the site. The contractor shall be responsible for the removal and disposal of all waste materials. The contractor shall be responsible for the maintenance of the site during the construction period. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the quality of the work and the completion of the project within the specified time frame. The contractor shall be responsible for the payment of all bills and the provision of all necessary documentation. The contractor shall be responsible for the coordination of all trades and the sequencing of the work. The contractor shall be responsible for the protection of all existing conditions and the preservation of the site. The contractor shall be responsible for the removal and disposal of all waste materials. The contractor shall be responsible for the maintenance of the site during the construction period. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the quality of the work and the completion of the project within the specified time frame. The contractor shall be responsible for the payment of all bills and the provision of all necessary documentation.

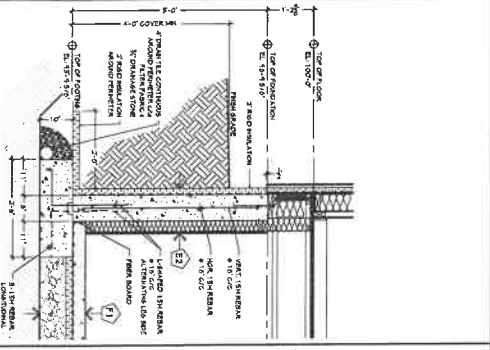
CLIENT LISTEN
PROJECT SOCIAL HOUSING DEVELOPMENT - TRIPLEX
LOCATION LITTLETON, CO
DATE 09/12/2018
SCALE 1/16" = 1'-0"

SHEET INTERIOR ELEVATIONS & CABINETRY SECTIONS
NUMBER A5
DATE 09/12/2018
SCALE 1/16" = 1'-0"

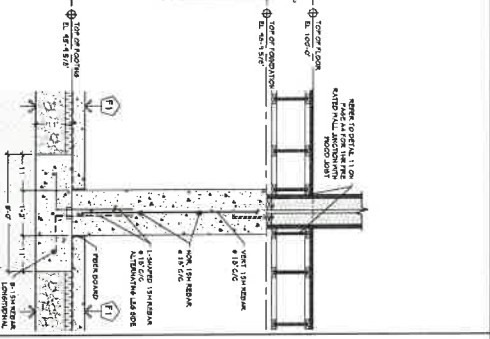
STAFF
 ARCHITECT: AS SHOWN
 ENGINEER: AS SHOWN
 CONTRACTOR: S. LADAGE
 PROJECT NO. 18-000000-22-17



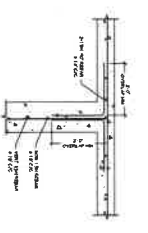
1 FOUNDATION PLAN
SCALE 1/4" = 1'-0"



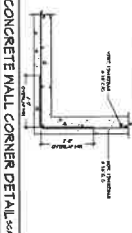
A FOUNDATION SECTION
SCALE 3/4" = 1'-0"



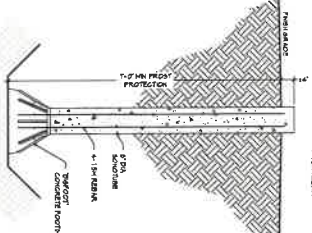
B FOUNDATION SECTION
SCALE 3/4" = 1'-0"



2 CONCRETE MALL TEE DETAIL
SCALE 1/2" = 1'-0"



3 CONCRETE MALL CORNER DETAIL
SCALE 1/2" = 1'-0"



4 TYPICAL PIER DETAIL
SCALE 1/2" = 1'-0"

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F.M.D. Consultants
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 Suite 100
 Folsom, CA 95630

VALANDORP
 11000 170th Ave
 Suite 100
 Folsom, CA 95630

CONSULTANT: BOBBI CORNER

General notes Notes générales

GENERAL NOTES FOR THIS DRAWING: ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED TO THE CONTRARY. REFER TO THE SPECIFICATIONS FOR THE PROJECT FOR THE LATEST REVISIONS TO THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

Legend:

- A: Foundation
- B: Wall
- C: Pier

Client: SOCIAL HOUSING DEVELOPMENT - TRIPLE-C

Project Name: LITTLEWOOD

Project No.: 22-11

Sheet Title: PROPOSED FLOOR PLAN

Sheet Number: F1

Scale: 3/4" = 1'-0"

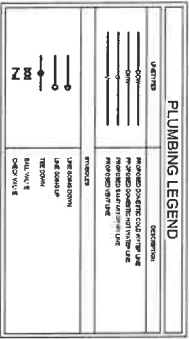
Drawn by: AS/SHOWN

Checked by: AS/SHOWN

Project No.: 22-11

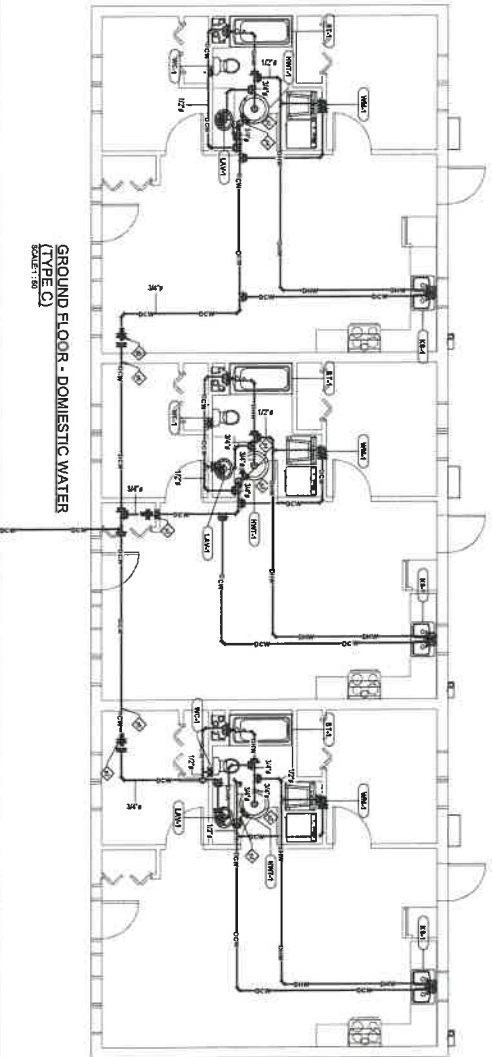
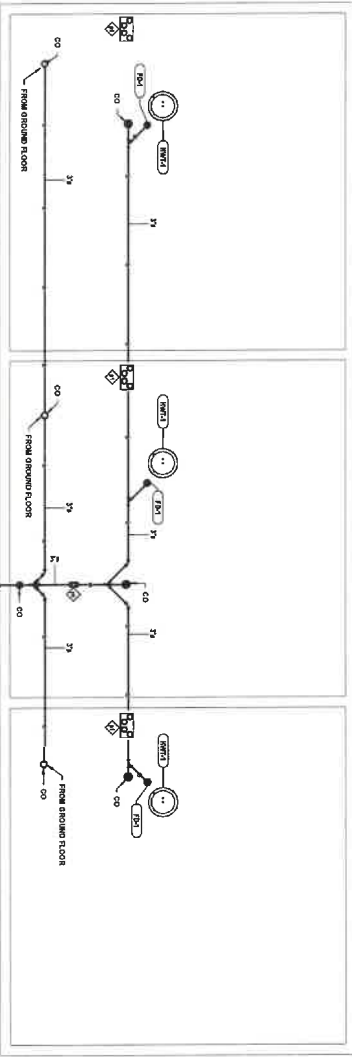
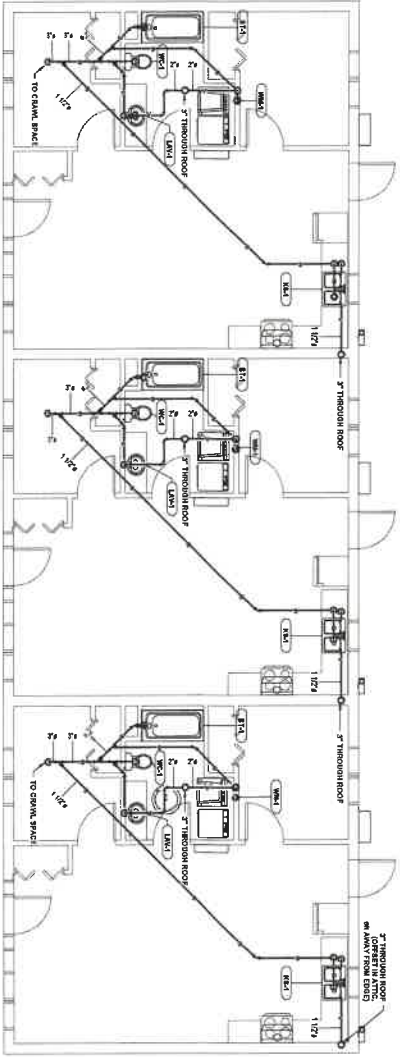
PLUMBING SCHEDULE

ITEM	DESCRIPTION	UNIT	QTY	SCALE	NOTES
101	TRAP AND SPRING	MANHOLE	10	1"	1"
102	TRAP AND SPRING	MANHOLE	10	1"	1"
103	TRAP AND SPRING	MANHOLE	10	1"	1"
104	TRAP AND SPRING	MANHOLE	10	1"	1"
105	TRAP AND SPRING	MANHOLE	10	1"	1"
106	TRAP AND SPRING	MANHOLE	10	1"	1"
107	TRAP AND SPRING	MANHOLE	10	1"	1"
108	TRAP AND SPRING	MANHOLE	10	1"	1"
109	TRAP AND SPRING	MANHOLE	10	1"	1"
110	TRAP AND SPRING	MANHOLE	10	1"	1"
111	TRAP AND SPRING	MANHOLE	10	1"	1"
112	TRAP AND SPRING	MANHOLE	10	1"	1"
113	TRAP AND SPRING	MANHOLE	10	1"	1"
114	TRAP AND SPRING	MANHOLE	10	1"	1"
115	TRAP AND SPRING	MANHOLE	10	1"	1"
116	TRAP AND SPRING	MANHOLE	10	1"	1"
117	TRAP AND SPRING	MANHOLE	10	1"	1"
118	TRAP AND SPRING	MANHOLE	10	1"	1"
119	TRAP AND SPRING	MANHOLE	10	1"	1"
120	TRAP AND SPRING	MANHOLE	10	1"	1"



GENERAL NOTES FOR PLUMBING

- SEE COMMENTS FROM THE OWNER TO LOCATE EXISTING CHASES WITHIN THE BUILDING.
- TRAP AND SPRING SHALL BE INSTALLED AT THE END OF EACH BRANCH AND AT THE END OF EACH MAIN.
- TRAP AND SPRING SHALL BE INSTALLED AT THE END OF EACH BRANCH AND AT THE END OF EACH MAIN.
- TRAP AND SPRING SHALL BE INSTALLED AT THE END OF EACH BRANCH AND AT THE END OF EACH MAIN.
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 02811

FPMO Capital Partners
 FPMO Capital Partners
 www.fpmocapital.com

VALANSORP
 Valansorp
 www.valansorp.com

EVERETT CHURCH

General notes **Notes additioles**

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

Client: SOCIAL HOUSING DEVELOPMENT - TRIPLEX C - LITTLETON, CO

Project Title: TRIPLEX C PROJECT

Client: *Liturgy* **Client:** *Liturgy*

Architect: CLAD Inc.

Sheet Title: MECHANICAL - PLUMBING PLAN VIEWS, SCHEDULES AND LEGENDS

Sheet Number: M001

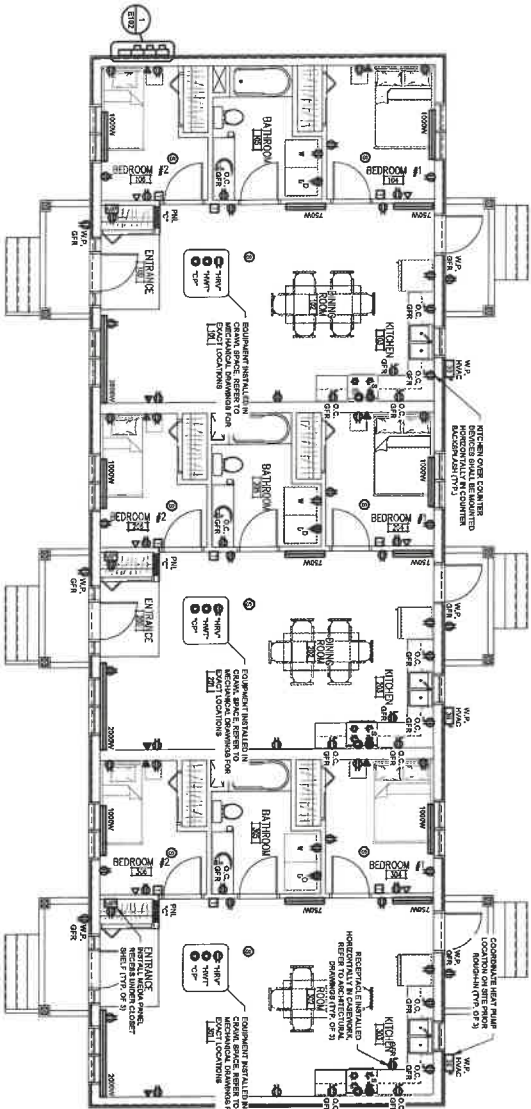
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Date: 09/12/2025

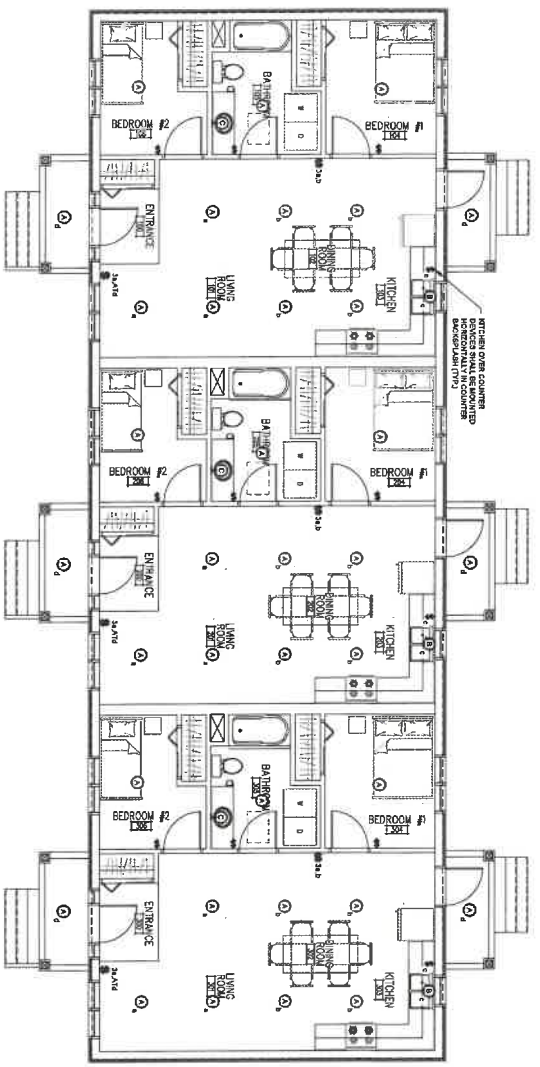
Author: M.A. FOULNER

Project No.: 22-11

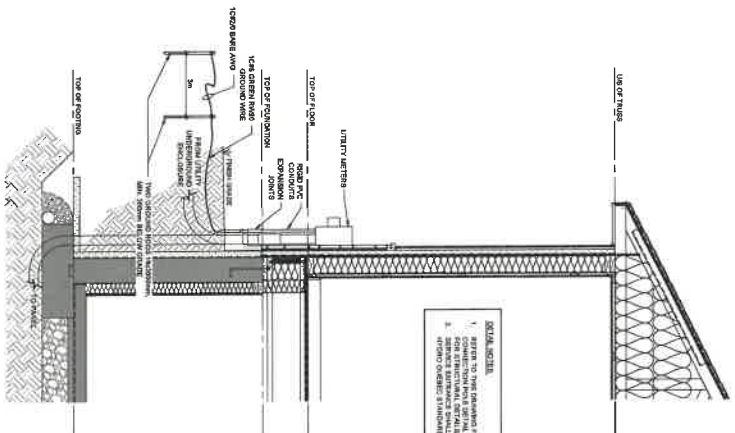
POWER & COMMUNICATION FLOOR PLAN
SCALE: 1/8" = 1'-0"



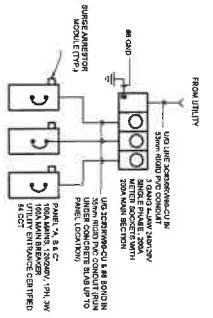
LIGHTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



SERVICES ENTRANCE DETAIL
SCALE: 1/4" = 1'-0"



SINGLE-DWELLING 120/240V, 200A ELECTRICAL ENTRANCE
SCALE: 1/8" = 1'-0"



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E2A 1B1

EMVD
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www.emvd.ca

VALANORP
www.valanorp.com

CONTRACT NO. EBRIC-CONCR-14-28

General notes / Notes générales

- 1. INTERFERENCES: CHECK ALL SERVICES (ELECTRICAL, MECHANICAL, PLUMBING, FIRE ALARM, TV/CABLE, ANTENNA, ETC.) BEFORE CONSTRUCTION. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CANADIAN ELECTRICAL CODE (CEC).
- 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CANADIAN ELECTRICAL CODE (CEC).
- 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CANADIAN ELECTRICAL CODE (CEC).
- 4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CANADIAN ELECTRICAL CODE (CEC).
- 5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CANADIAN ELECTRICAL CODE (CEC).

DATE	DESCRIPTION / RÉVISIONS

LISTAGUY
ARCHITECTURE

PROJECT TITLE: SOCIAL HOUSING DEVELOPMENT - TRINEX C. - LISIQUOJ, QC

SHEET TITLE: FLOOR PLANS & DETAILS

SHEET NUMBER: E102

NUMBER OF LA REVUE:

SCALE: 1/8" = 1'-0"

DATE: 2023-09-11

DESIGNER: AS SHOWN

PROJECT MANAGER: LANDART

CLIENT: LANDART

PROJECT NO.: 22-17